

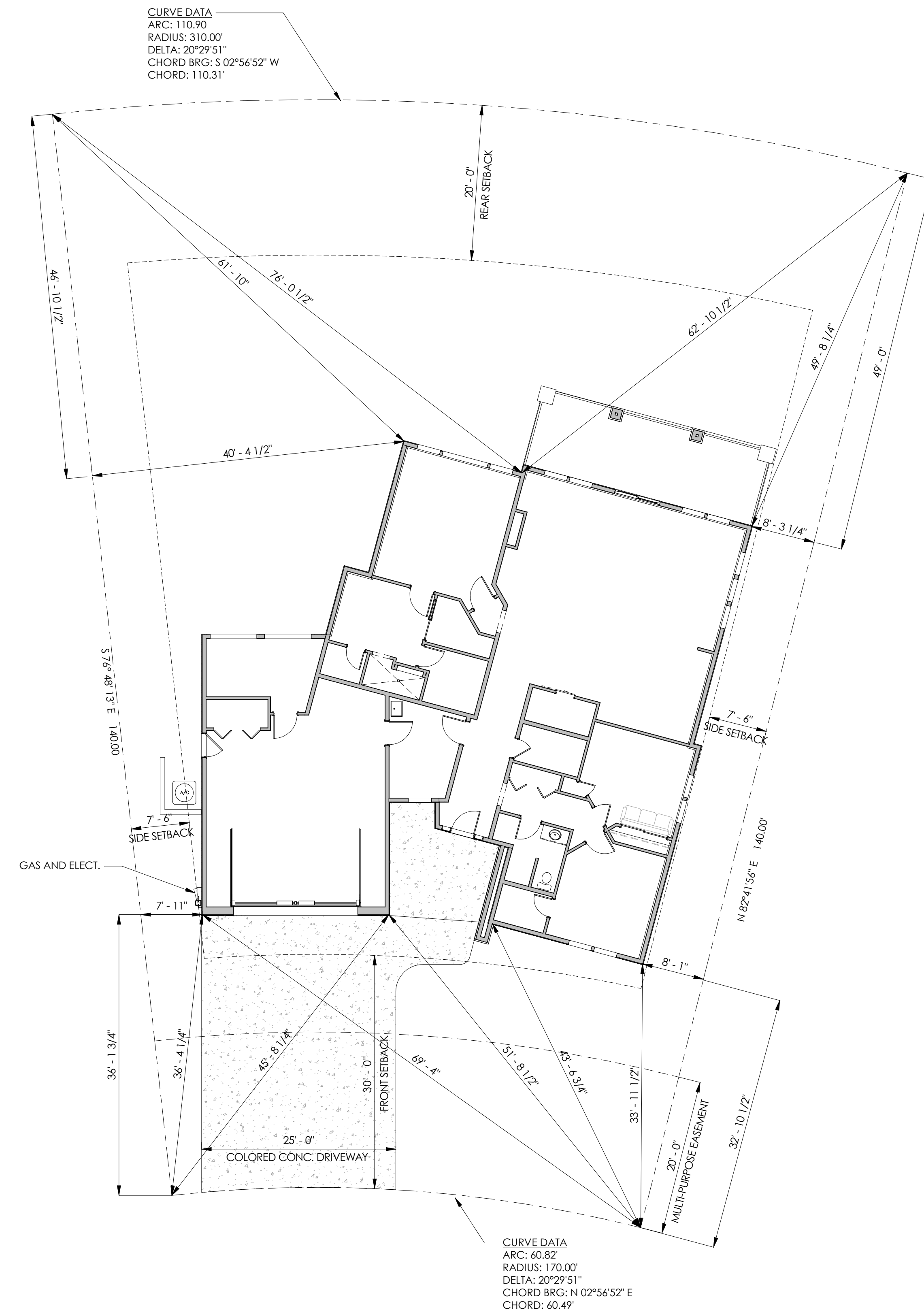
PLOT PLAN INFORMATION

LOT NUMBER 19 OF VENTANA AT REDLAND MESA SUBDIVISION
CITY OF GRAND JUNCTION, MESA COUNTY, COLORADO

STREET ADDRESS 309 VENTANA COURT
HOUSE LIVING SQ FT 2,329 SF
GARAGE SQ FT 799 SF
LOT SIZE 12,020 SF
SETBACKS (BASED ON...)
FRONT - 30'
SIDES - 7.5'
REAR - 20'

* SITE INFORMATION INCLUDING PROPERTY LINES, SETBACKS/BUILDING ENVELOPE, EASEMENTS, COVERAGE, ETC. TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER

KRAAI DESIGN RECOMMENDS THAT SURVEYOR VERIFY PLACEMENT OF HOUSE BEFORE GROUND IS BROKEN



1 SITE PLAN
C1.1 1" = 10'-0"

REVISION:

CONSTRUCTION DOCUMENTS

PROJECT NO: 19104

SHEET NAME: SITE PLAN

DATE: 07/16/2020

SHEET NO:

C1.1

SCALE: As indicated

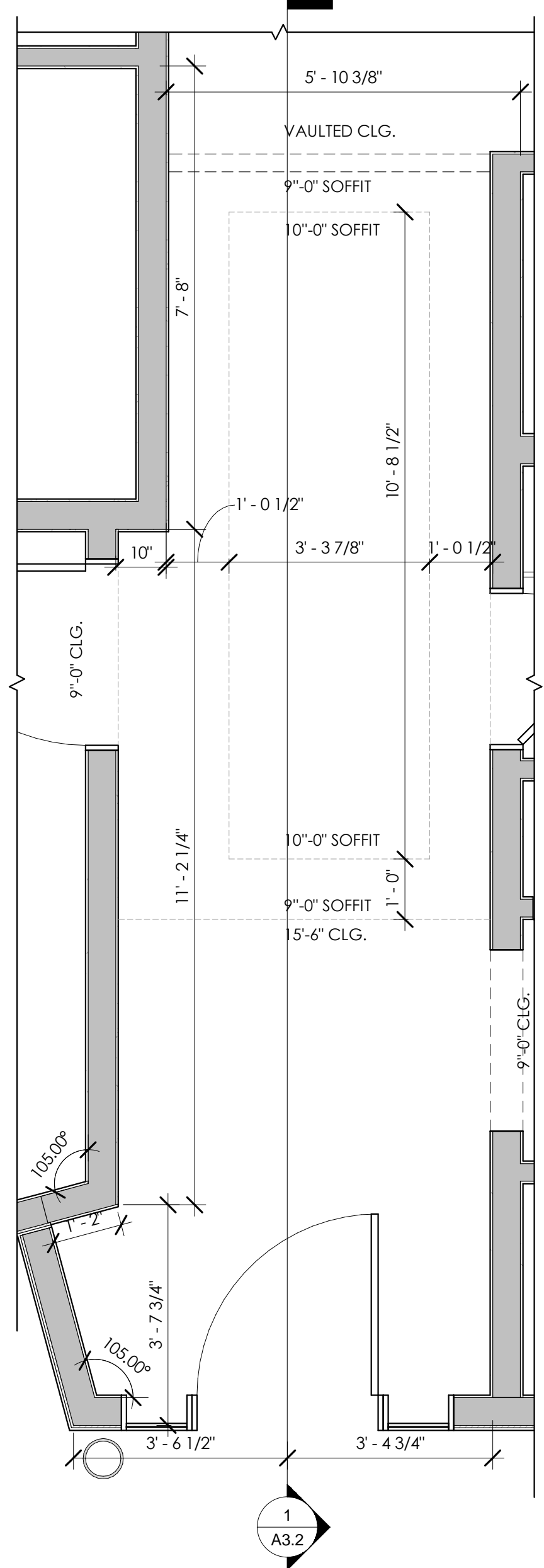
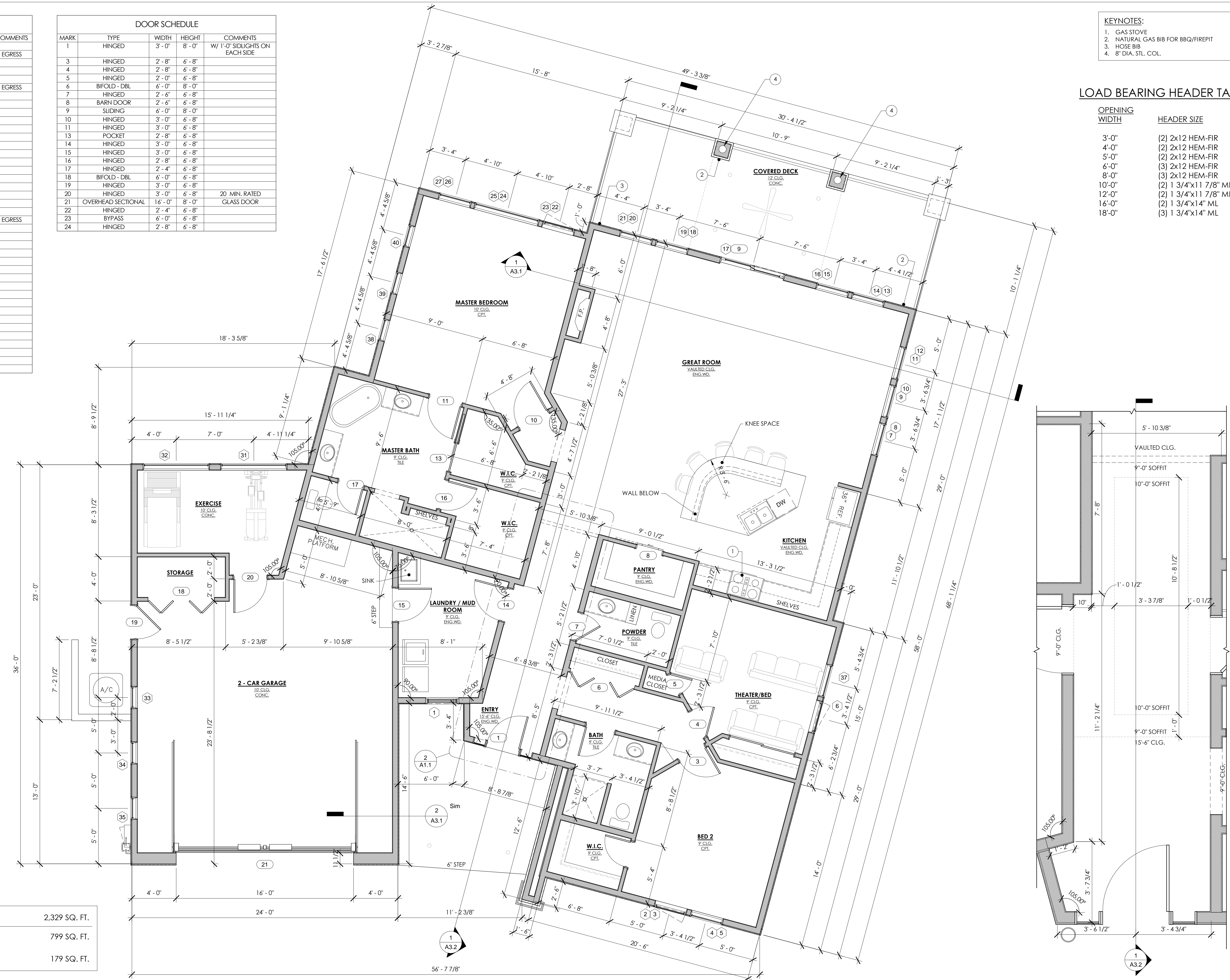
WINDOW SCHEDULE				
MARK	TYPE	WIDTH	HEIGHT	COMMENTS
1	SINGLE HUNG	3'-0"	5'-0"	
2	CASEMENT	3'-0"	5'-0"	EGRESS
3	PICTURE	3'-0"	11'-6"	
4	PICTURE	3'-0"	5'-0"	
5	PICTURE	3'-0"	1'-6"	
6	CASEMENT	3'-0"	5'-0"	EGRESS
7	PICTURE	3'-0"	5'-0"	
8	PICTURE	3'-0"	2'-0"	
9	PICTURE	3'-0"	5'-0"	
10	PICTURE	3'-0"	2'-0"	
11	PICTURE	3'-0"	5'-0"	
12	PICTURE	3'-0"	2'-0"	
13	PICTURE	3'-0"	5'-0"	
14	PICTURE	3'-0"	2'-0"	
15	PICTURE	3'-0"	5'-0"	
16	PICTURE	3'-0"	2'-0"	
17	PICTURE	6'-0"	1'-0"	
18	PICTURE	3'-0"	5'-0"	
19	PICTURE	3'-0"	2'-0"	
20	PICTURE	3'-0"	5'-0"	
21	PICTURE	3'-0"	2'-0"	
22	CASEMENT	3'-0"	5'-0"	EGRESS
23	PICTURE	3'-0"	2'-0"	
24	PICTURE	6'-0"	5'-0"	
25	PICTURE	6'-0"	2'-0"	
26	PICTURE	3'-0"	5'-0"	
27	PICTURE	3'-0"	2'-0"	
28	PICTURE	4'-0"	2'-0"	
29	PICTURE	4'-0"	2'-0"	
30	PICTURE	4'-0"	2'-0"	
31	PICTURE	6'-0"	5'-0"	
32	PICTURE	6'-0"	5'-0"	
33	PICTURE	2'-0"	2'-0"	
34	PICTURE	2'-0"	2'-0"	
35	PICTURE	2'-0"	2'-0"	
36	TRAPEZOID	6'-0"	3'-0"	
37	PICTURE	3'-0"	5'-0"	
38	PICTURE	2'-0"	2'-0"	
39	PICTURE	2'-0"	2'-0"	
40	PICTURE	2'-0"	2'-0"	

DOOR SCHEDULE				
MARK	TYPE	WIDTH	HEIGHT	COMMENTS
1	HINGED	3'-0"	8'-0"	W/ 1'-0" SIDELIGHTS ON EACH SIDE
3	HINGED	2'-8"	6'-8"	
4	HINGED	2'-8"	6'-8"	
5	HINGED	2'-0"	6'-8"	
6	BIFOLD - DBL	6'-0"	8'-0"	
7	HINGED	2'-6"	6'-8"	
8	BARN DOOR	2'-6"	6'-8"	
9	SLIDING	6'-0"	8'-0"	
10	HINGED	3'-0"	6'-8"	
11	HINGED	3'-0"	6'-8"	
13	POCKET	2'-8"	6'-8"	
14	HINGED	3'-0"	6'-8"	
15	HINGED	3'-0"	6'-8"	
16	HINGED	2'-8"	6'-8"	
17	HINGED	2'-4"	6'-8"	
18	BIFOLD - DBL	6'-0"	6'-8"	
19	HINGED	3'-0"	6'-8"	
20	HINGED	3'-0"	6'-8"	20 MIN. RATED GLASS DOOR
21	OVERHEAD SECTIONAL	16'-0"	8'-0"	
22	HINGED	2'-4"	6'-8"	
23	BYPASS	6'-0"	6'-8"	
24	HINGED	2'-8"	6'-8"	

- KEYNOTES:**
1. GAS STOVE
 2. NATURAL GAS BIB FOR BBQ/FIREPIT
 3. HOSE BIB
 4. 8" DIA. STL. COL.

LOAD BEARING HEADER TABLE:

OPENING WIDTH	HEADER SIZE
3'-0"	(2) 2x12 HEM-FIR
4'-0"	(2) 2x12 HEM-FIR
5'-0"	(2) 2x12 HEM-FIR
6'-0"	(3) 2x12 HEM-FIR
8'-0"	(3) 2x12 HEM-FIR
10'-0"	(2) 1 3/4"x11 7/8" ML
12'-0"	(2) 1 3/4"x11 7/8" ML
14'-0"	(2) 1 3/4"x14" ML
18'-0"	(3) 1 3/4"x14" ML



MAIN LEVEL FINISHED AREA:	2,329 SQ. FT.
GARAGE FLOOR AREA:	799 SQ. FT.
COVERED ENTRY AREA:	179 SQ. FT.

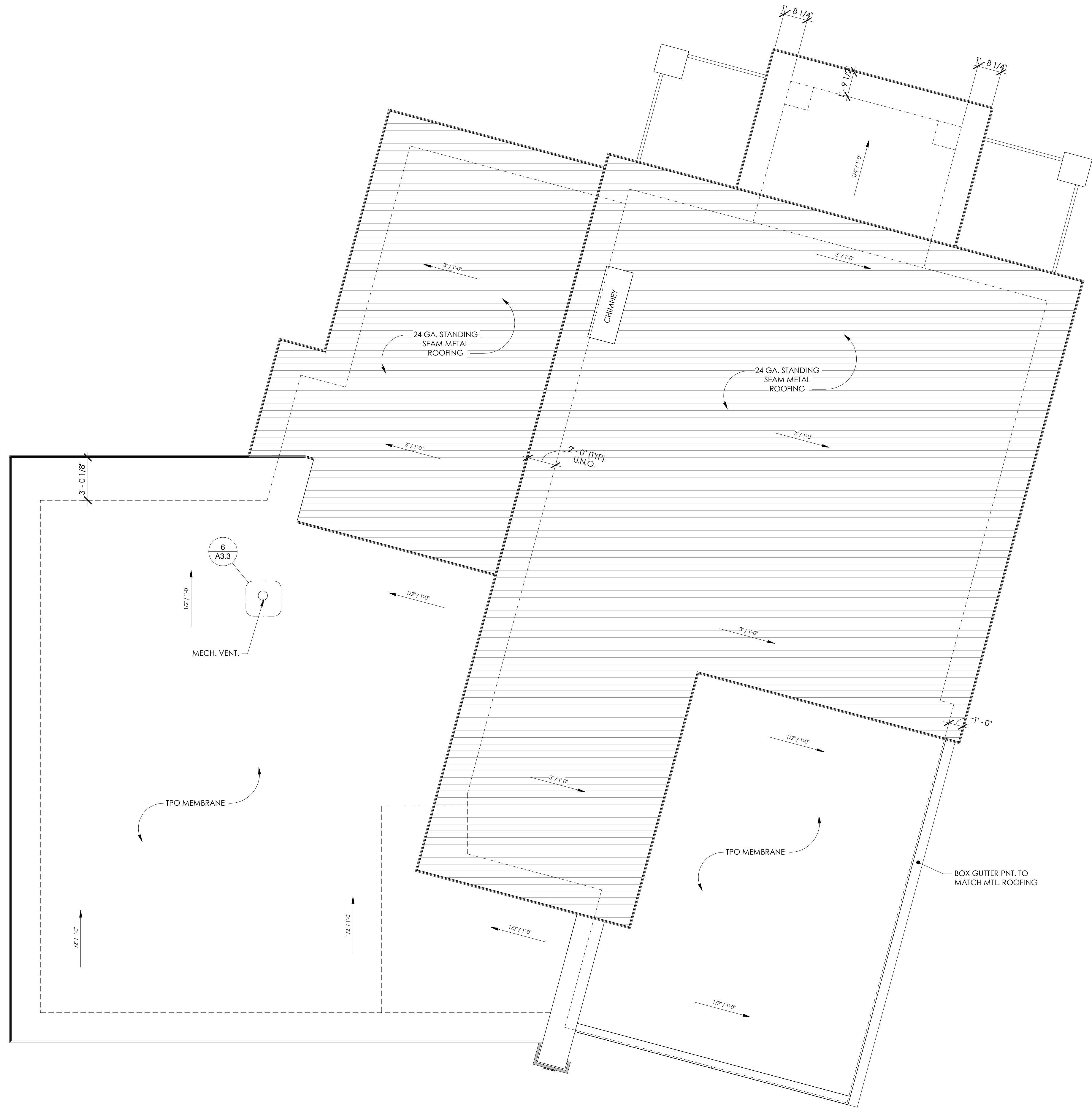
1 MAIN LEVEL - FLOOR PLAN
A1.1 1/4" = 1'-0"

2 RECESSED CEILING @ ENTRY
A1.1 1/2" = 1'-0"

ROOFING SHALL COMPLY WITH 2018 IRC, CHAPTER 9

ROOFING SHALL BE INSTALLED IN ACCORANCE WITH MFRS. INSTRUCTIONS AND RECOMMENDATIONS

THE CLIMATE ZONE AND ROOF PITCH SHALL BE TAKEN INTO CONSIDERATION WHEN CHOOSING ROOFING MATERIALS AND METHODS



1 ROOF PLAN
A1.3 1/4" = 1'-0"

REVISION:

CONSTRUCTION DOCUMENTS

PROJECT NO: 19104

SHEET NAME: ROOF PLAN

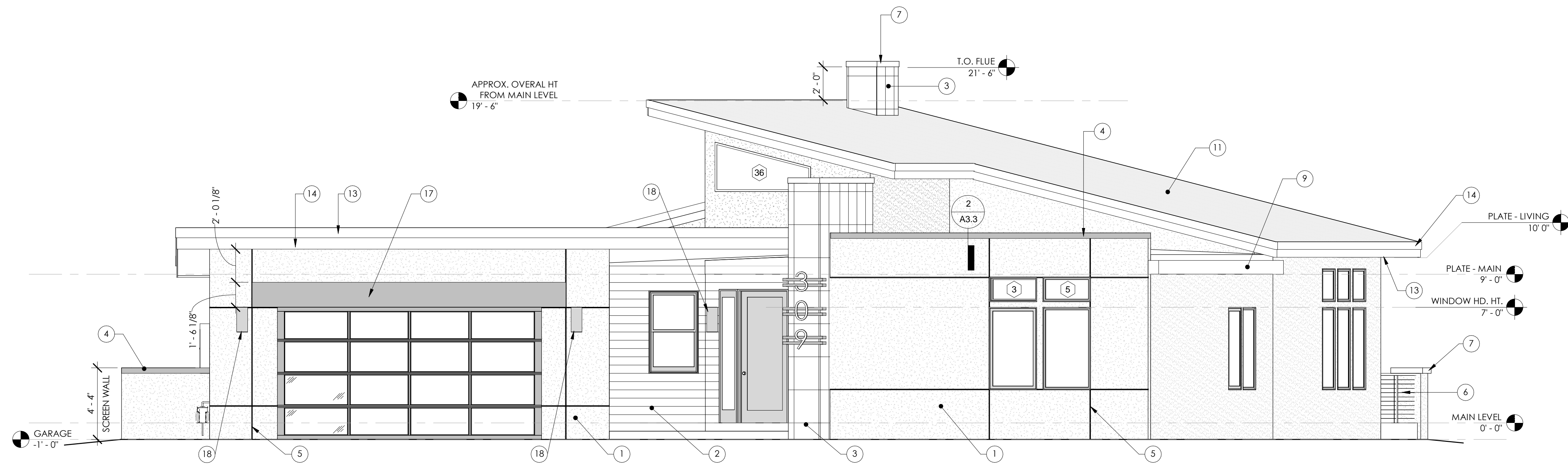
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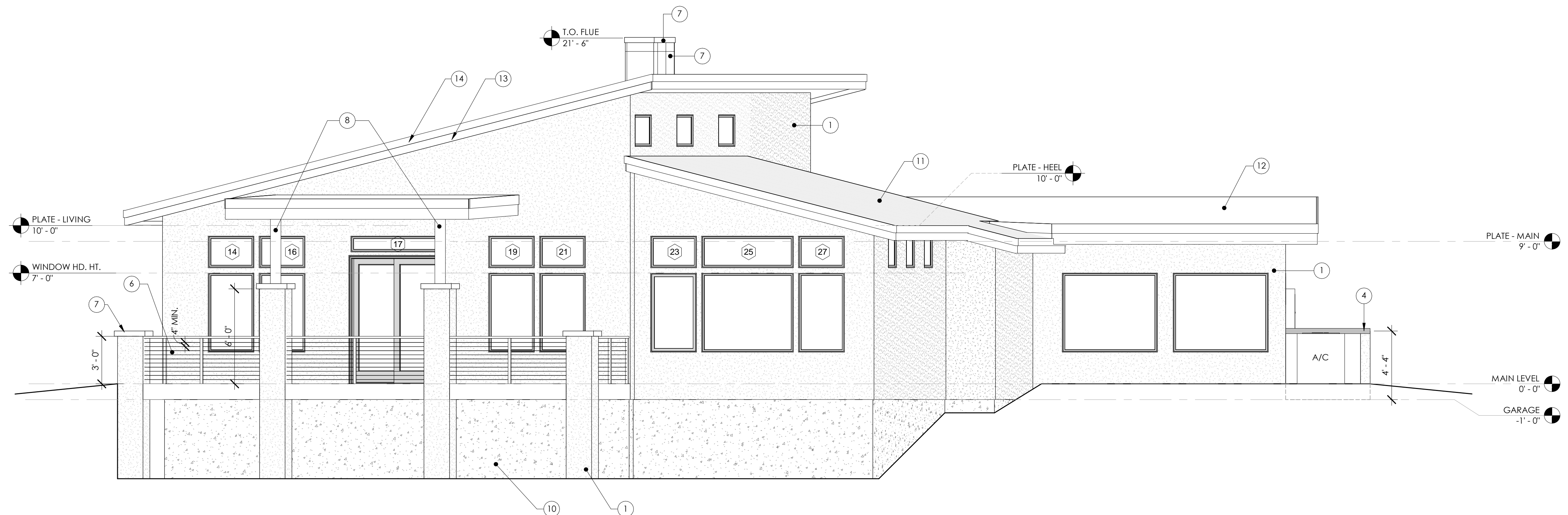
A1.3

SCALE: 1/4" = 1'-0"

- KEYNOTES:**
1. STUCCO FINISH
 2. CEMENTITIOUS SIDING BY CREATIVE MINES
 3. TILE FINISH
 4. PRE-FINISHED MTL. FLASHING
 5. CONTROL JOINT
 6. CABLE RAILING (42" HEIGHT)
 7. STONE CAP
 8. 8" DIA. MTL. COL.
 9. BOX GUTTER PNT. TO MATCH FASCIA
 10. FOUNDATION WALL, RE. STR
 11. STANDING SEAM ROOFING
 12. MEMBRANE ROOFING - GRAY
 13. 1x12 SUB-FASCIA
 14. 1x6 FASCIA
 15. ELECT. PANEL
 16. GAS METER
 17. STUCCO LINTEL (18" W. x 4" D.)
 18. WALL SCONCES



1 SOUTH ELEVATION
 A2.1 1/4" = 1'-0"



2 NORTH ELEVATION
 A2.1 1/4" = 1'-0"

REVISION:

CONSTRUCTION DOCUMENTS

PROJECT NO:

19104

SHEET NAME:

EXTERIOR ELEVATIONS

DATE:

07/16/2020

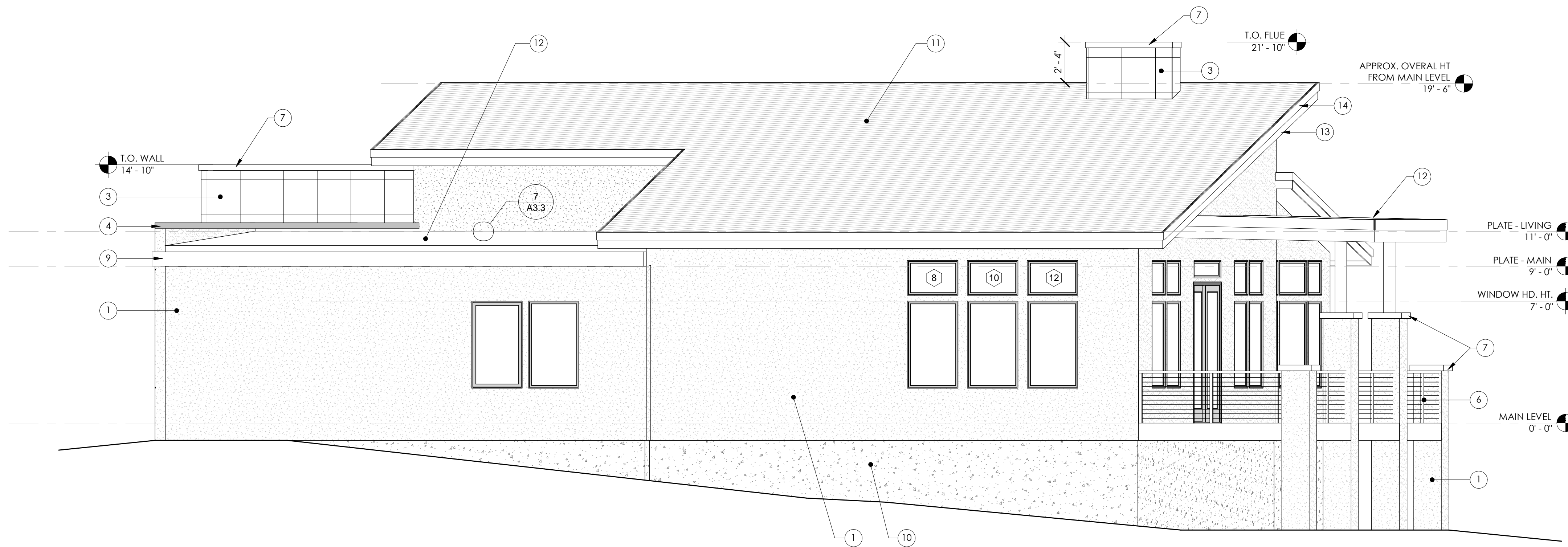
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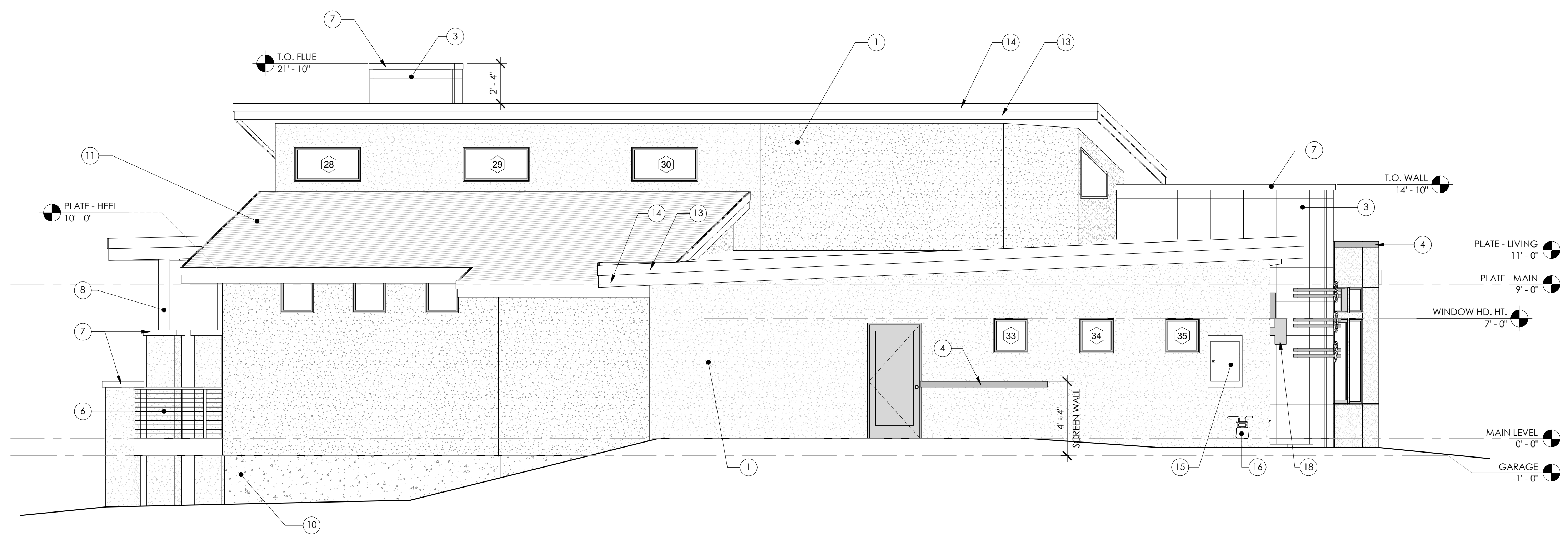
SCALE:

As indicated

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 18. WALL SCONCES



1 EAST ELEVATION
 A2.2 1/4" = 1'-0"



2 WEST ELEVATION
 A2.2 1/4" = 1'-0"

REVISION:

CONSTRUCTION DOCUMENTS

PROJECT NO: 19104

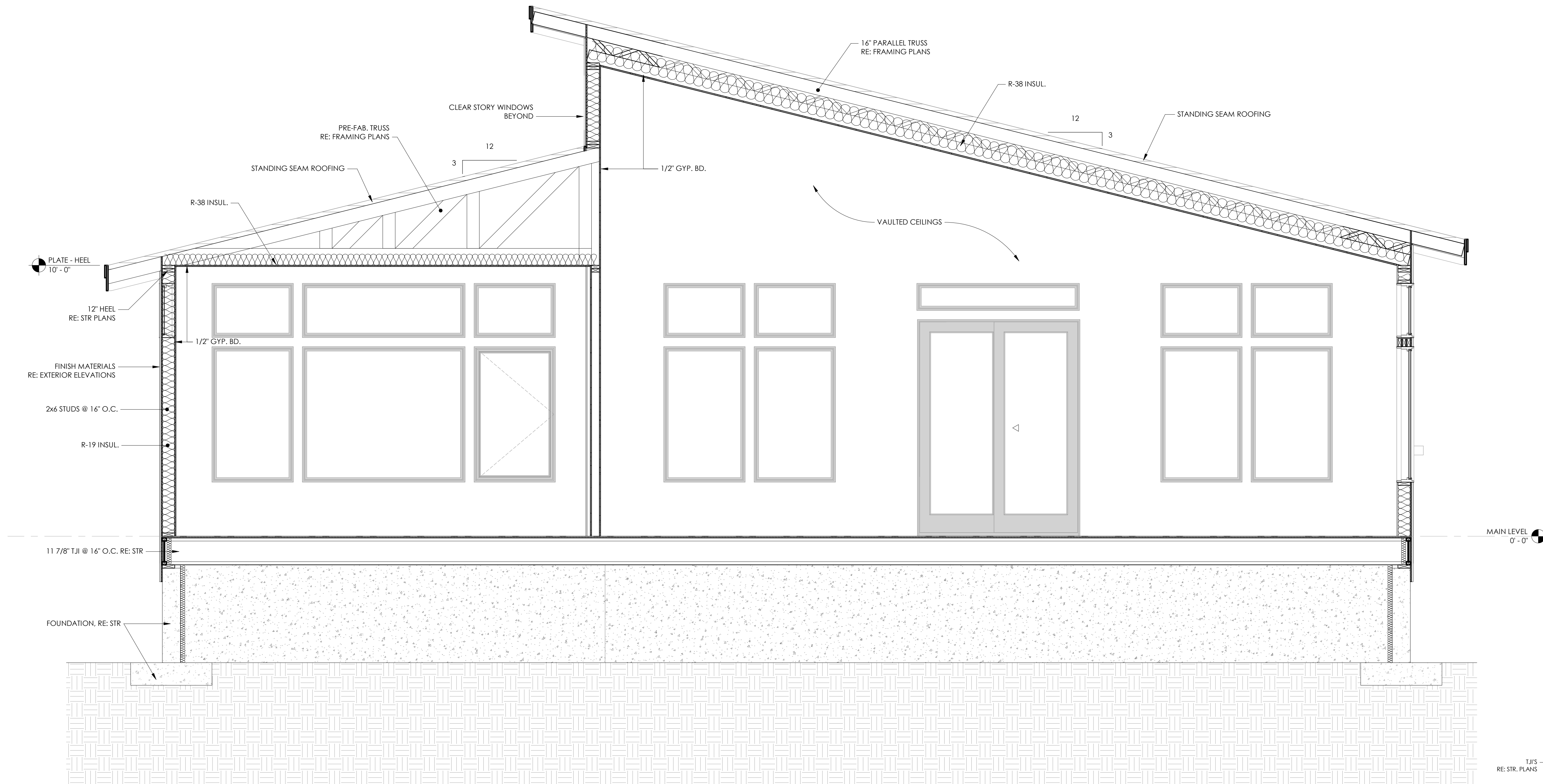
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DATE: 07/16/2020

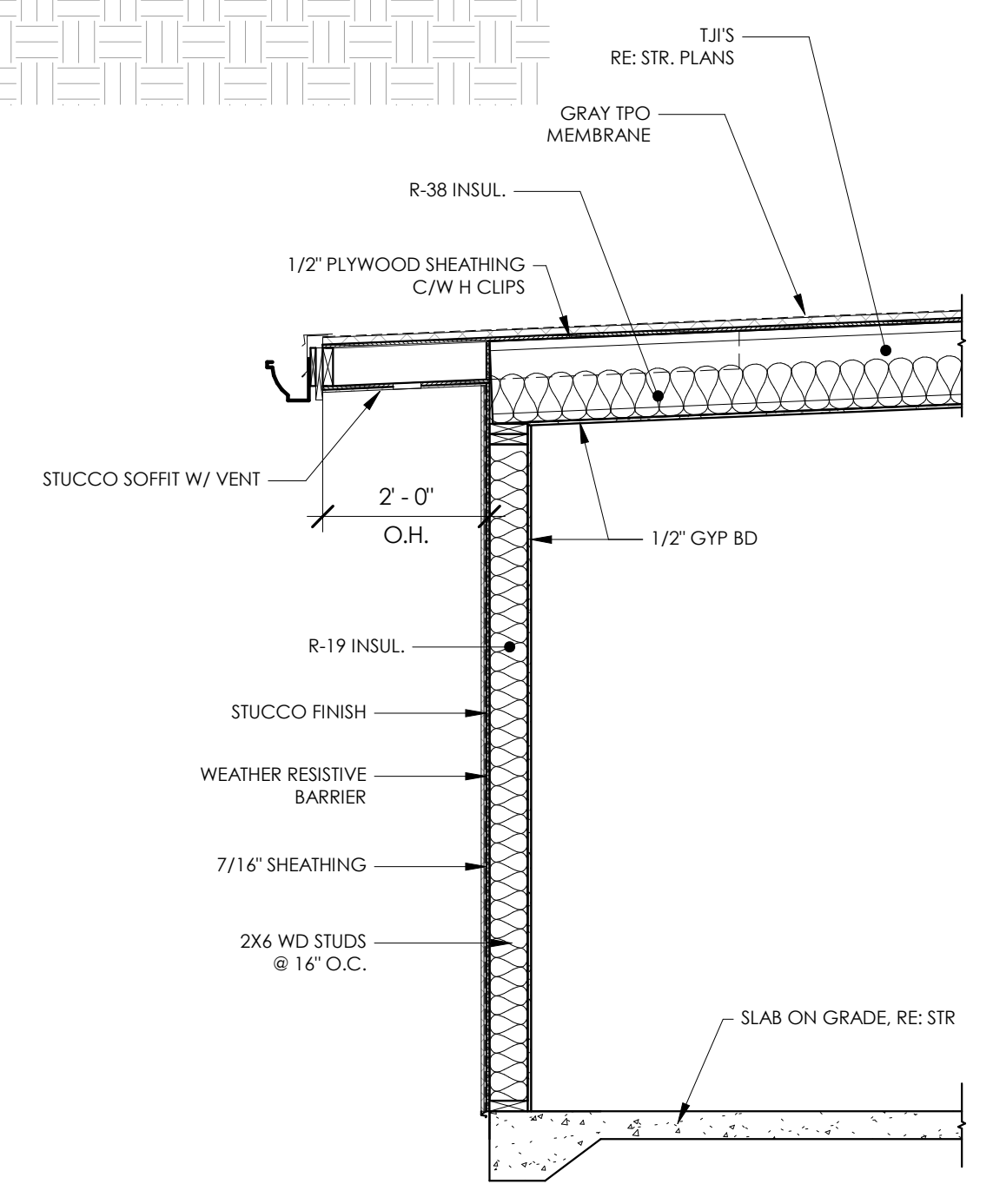
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A2.2

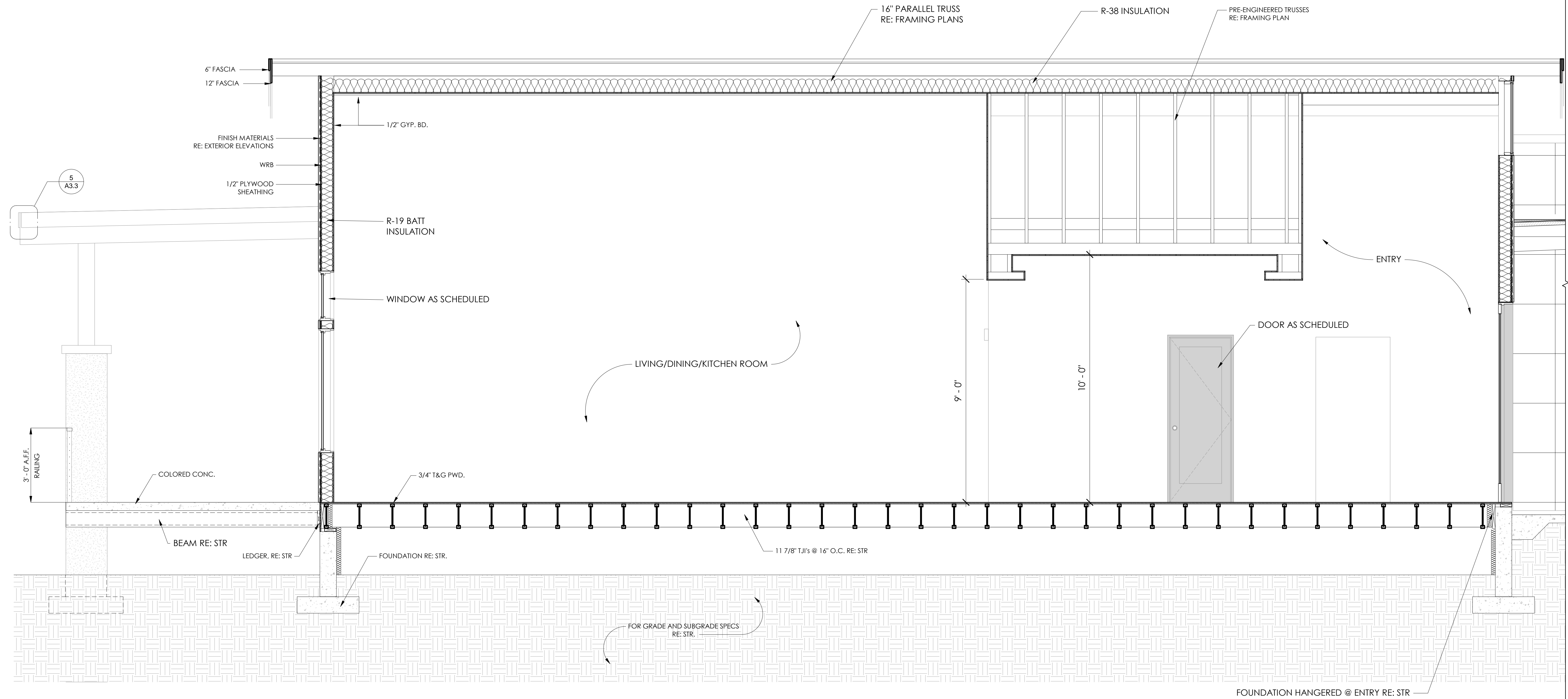
SCALE: As indicated



1 OVERALL SECTION @ LIVING
 A3.1 1/2" = 1'-0"



2 TYPICAL WALL SECTION - @ GARAGE
 A3.1 1/2" = 1'-0"



REVISION:

CONSTRUCTION DOCUMENTS

PROJECT NO:
 19104

SHEET NAME:
 BUILDING SECTIONS

DATE: 07/16/2020

SHEET NO:

A3.2

SCALE: 1/2" = 1'-0"

1 SECTION @ OVERALL BUILDING
 A3.2 1/2" = 1'-0"

